



create

AT KOOINDAH WATERS

ARCHITECTURAL AND LANDSCAPE GUIDELINES

FOR NEW DWELLINGS AND EXTERNAL RENOVATIONS OR CHANGES

KOOINDAH WATERS COMMUNITY ASSOCIATION – DP270434

As approved at AGM 4 March 2019

Introduction

The purpose of the architectural and landscaping code is to ensure that the Kooindah Waters Residential Golf Estate remains a high quality and prestigious development by providing a standard for developments such as new homes, additions or alterations. The Community Management Statement for Kooindah Waters notes that an architectural and landscape code is to contain a defined theme and style for development. By-laws 1, 3, 4 and 5 of the Community Management Statement outline further matters regarding the code.

The Kooindah Waters Master Plan

Kooindah Waters creates a community that sits comfortably within the landscape and complements the natural beauty of the area through sensitive site planning and design, with an emphasis on sustainability and energy conservation.

Set within an 18-hole Championship golf course and conserving many communities of natural wetlands within the estate, the master plan engages the visitor and resident with the natural environment. Through highly visible treatments of these precious areas, this ensures that the natural environment is maintained as the focus of the development including the golf course.

The master plan is based on a set of design principles as follows:

- Ensuring a high degree of engagement between residents and the natural environment.
- Creating a sense of place and community that responds to and enhances the natural attributes and special qualities of the site.
- Providing an 18-hole Championship golf course and clubhouse that preserves natural wetlands vegetation and also interacts with the residential areas of the development.
- Providing a resort with conferencing facilities and recreational facilities.
- Providing a pleasant and safe environment with convenient access to the resort and recreational facilities.
- Fostering a contemporary architectural style complementary to the location and the Central Coast region.

The Kooindah Waters Architectural and Landscape Guidelines:

- Illustrate the house types and design features that will characterise Kooindah Waters.
- Provide a checklist of items for you to discuss with your builder so you can design, build and move into your new home quickly.

Contents

CHOOSE A HOUSE DESIGN	4
TYPICAL HOUSING STYLE AND CHARACTER.....	5
TYPICAL DESIGN FEATURES	6
POSITION AND MODIFY YOUR HOUSE DESIGN.....	7
PERSONALISE YOUR HOME AND GARDEN	8
EXAMPLES OF COLOUR AND MATERIAL SELECTION.....	9
COLOUR AND MATERIAL SELECTION	10
DESIGN YOUR GARDEN.....	11
GARDEN DESIGN PRINCIPLES.....	12
LANDSCAPE DESIGN	14
SEEK APPROVALS.....	15
INFORMATION REQUIREMENTS.....	16
OTHER DESIGN CONTROLS	17
SUMMARY – A SIMPLE PROCESS.....	20
APPENDIX A – EXTERNAL COLOUR PALETTES	21
APPENDIX B – RECOMMENDED PLANT SPECIES.....	23
APPENDIX C – DESIGN REVIEW: REQUIRED DOCUMENTATION LIST	26
APPENDIX D – DESIGN REVIEW CRITERIA.....	28
APPENDIX E – THREE-STAGE APPROVAL PROCESS FOR BUILDING APPLICATIONS	32

CHOOSE A HOUSE DESIGN

Choose your home from a selection of contemporary designs from your builder of choice.

House designs should include fresh, contemporary designs that are in keeping with the latest trends.

On golf course fronting lots must consider the appearance and presentation of houses when viewed from the golf course.

Importantly, houses that would look out of place in a modern setting, such as mock-period Federation, Georgian or Colonial styles are not permitted.

Importantly, house designs that are bland, out of scale, or which lack architectural interest are also not permitted.

Additionally, house designs must incorporate a double garage set back a minimum of 1.0 metre from the front building line.



The pictured homes are examples with distinctive modern features and architectural styles that will fit in with other homes at Kooindah Waters.



TYPICAL HOUSING STYLE AND CHARACTER

House designs that comply with Kooindah Waters Architectural & Landscape Guidelines are readily available in the marketplace:

- Single level or two storey homes.
- Modern house styles, rather than mock period styles, which are not permitted.
- Designs with pitched or skillion roofs promoting interesting rooflines.
- Homes that address the main street frontage and both frontages on corner lots and golf course frontage where homes are sited on golf course lots.

There are many modern one and two storey homes to choose from. Each home must have complementary features and styles.



Houses must have interesting rooflines and features.



TYPICAL DESIGN FEATURES

Important features of designs for homes at Kooindah Waters:

1. Houses with feature walls, parapets, awnings and a mix of materials to provide interest to the street and golf course frontage.
2. Habitable rooms facing the street.
3. Bathroom and laundry windows facing the street and golf course have clear glass.
4. Houses which incorporate entry porches, al frescoes or balconies to provide shelter and building articulation with potential for indoor-outdoor living.

These features will be evident throughout Kooindah Waters and will give the street a recognizable character.

Any house selected should incorporate these features ensuring that inappropriate and poorly designed houses are excluded.



POSITION AND MODIFY YOUR HOUSE DESIGN

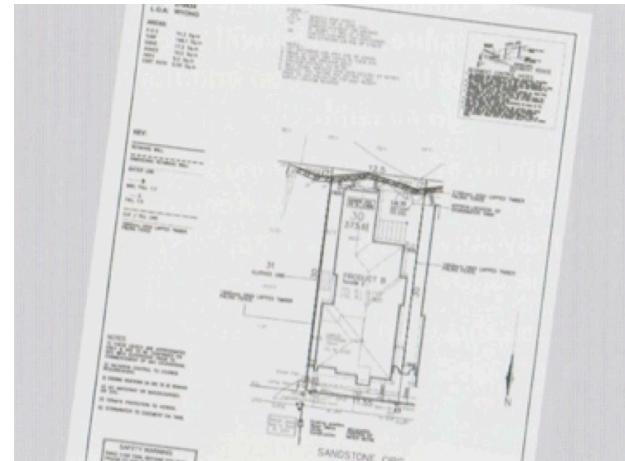
Modify your home to suit the land you have chosen.

Some minor changes may be required to ensure compliance with Council's set back controls, or to ensure that the house suits its location.

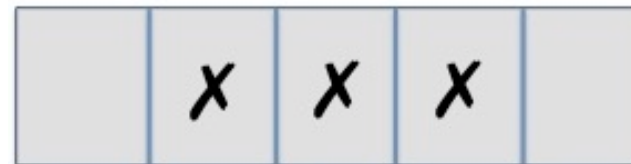
Mix of houses in every street

The Kooindah Waters Community Association will require changes to the design if the home you have selected is similar to one already planned or built on a neighbouring or an adjacent lot.

Although this should be rare, it can be easily addressed by working with your builder to select a different house design.



Championship Drive



Similar houses will not be allowed on neighbouring or adjacent lots.

PERSONALISE YOUR HOME AND GARDEN

Personalise your chosen house by selecting colours, finishes and brick style for your new home, design a garden and create a landscape plan.

Colour and material selection

There are a wide range of colour and material choices available to you at Kooindah Waters. The key objective is to avoid the use of poor quality materials, and colours that would clash or conflict with neighbouring homes and look out of place.

For this reason the colours and materials you select for your external finishes must be submitted for approval by the Kooindah Waters Community Association.



External colour schemes

To make the selection of appropriate external finishes easier a list of external colour and material selection palettes to guide your selections are included in **Appendix A – External Colour Palettes.**

If you choose colours from these palettes the choices will be straightforward.

If you cannot find a colour scheme you prefer, you may choose your colours and finishes individually with your builder. However, external colours or materials chosen must be consistent with the colours and materials from the pre-approved schemes. Your builder must provide examples of materials and colours with the submission for Kooindah Waters Community Association approval.



EXAMPLES OF COLOUR AND MATERIAL SELECTION

Supported use of materials and colour

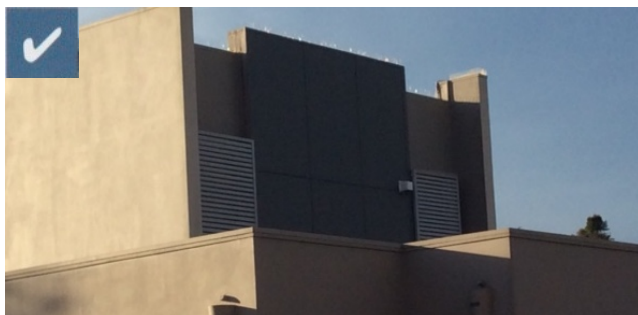
External walls include a mix of colour and materials



Exposed face brick should not be overused



Use 'Accent' colours to highlight special features



Unacceptable use of materials and colour

Insufficient mixture of colour and materials



Overuse of face brick and lack of colour



Insufficient use of colour to highlight key building features



COLOUR AND MATERIAL SELECTION

SELECTION PRINCIPLE	✓ SUPPORTED	✗ NOT ACCEPTABLE
1. External walls must include a mix of materials	<p>At least two complementary external finishes are to be used for single story houses and three complementary external finishes are to be used for two storey houses. For example, a combination of feature brick, masonry, bagged or rendered finishes, stack stone, paint or light-weight cladding can be used.</p> <p>Materials must return around the corner to a minimum of 350mm.</p> <p>For two storey houses the upper story must include a minimum step-back of 600mm, and if applicable, a parapet wall must return a minimum of 350mm.</p>	<p>Single use of the same material (i.e., 100% face brick) will not be supported.</p> <p>An upper storey wall of the same material longer than 10 metres will not be supported.</p>
2. Use 'Accent' colours to highlight special features	<p>A contrasting colour is to be used to enhance architectural features such as entry porticoes, columns, strong vertical elements, al frescoes or weatherboards.</p>	<p>Single or dominant use of colour for all façade features will not be supported.</p>
3. Roof colours and materials should complement your home	<p>Shingle style pre-coloured concrete or terracotta tiles or metal roofing are to be used. Colours must relate to the overall colour scheme of the house.</p>	<p>Profiled roof tiles or bright or highly contrasting roof colours will not be supported.</p>
4. Driveways must be paved and consistent with others at Kooindah Waters	<p>Only paved driveways consistent with the finish and pattern as constructed elsewhere at Kooindah Waters are permitted.</p> <p>All driveways must consist of pavers laid on a concrete sub-base to ensure their integrity.</p>	<p>Plain or stenciled concrete driveways and front paths will not be supported.</p>
5. Letter boxes must be masonry and match the colours of the house	<p>Letterboxes must be masonry bagged and painted to match the colours of the house.</p>	<p>Metal or freestanding letterboxes will not be supported.</p>
6. Exposed face brick should be plain and not spotty or textured	<p>If face brick is to be used as a feature or highlight, ensure bricks are smooth-faced or plain.</p>	<p>Spotty, mottled or heritage bricks, and face bricks of multiple colours will be not supported. Light coloured (blond) face bricks will not be supported where used as an external wall finish.</p>

DESIGN YOUR GARDEN

Design your garden to be part of an attractive street.

Kooindah Waters is contributing to amenity by investing in tree-lined streets and high quality landscape in parks, open spaces and the golf course. Front gardens that are visible from the street play an equally significant role in establishing the development's quality as is the landscape presentation from the golf course on golf course fronting lots.

Landscape is one of the key design themes making Kooindah Waters unique.

To ensure that this theme is implemented consistently across the development a landscaping plan is required with your house design for Kooindah Waters Community Association approval.

The landscape plan must show:

- Plant and turf species and areas of hard surface materials, which must not exceed a maximum of 15% of the site area.
- The location and siting of the house.
- Fencing locations and materials.
- Front boundary definition through hedge planting.
- Letterbox dimensions and materials.

The Kooindah Waters Garden Design Principles included in these guidelines have been prepared to illustrate the key garden design requirements.

Appendix B – Recommended Plant Species - provides a comprehensive list of approved plant species with a selection of trees, shrubs and groundcovers to complement your new home.



GARDEN DESIGN PRINCIPLES

SELECTION PRINCIPLE	✓ SUPPORTED	✗ NOT ACCEPTABLE
1. Preferred plant species	Use of native and drought tolerant plants selected from the approved planting list (Appendix B) will be supported. Windsor Green Couch turf for lawns must be used.	Conifers, palms or other introduced (non-drought tolerant) species.
2. Front boundary definition	Hedge or low shrub planting to a maximum of 1 metre in height must be included to define the front boundary of your property. No fencing is permitted forward of the building line.	Garden designs that do not distinguish the boundary through planting or height, such as paving, gravel or lawn to the boundary. No front fences are permitted.
3. Tree locations	One or more small tree selected from the approved planting list (Appendix B) must be included in the front garden.	Fully grassed or paved front gardens.
4. Side fencing	Side boundary fencing must extend from the front building line to the rear boundary and shall comprise of lapped timber paling consistent with existing fencing. Non-golf course fronting lots On non-golf course fronting lots a 1.8 metre high side lapped timber paling fence is required. Golf course fronting lots On golf course fronting lots a 1.8 metre high lapped timber paling fence is required to the rear building line reducing to 1.2 metres high from the rear building line to the rear boundary.	Metal (Colorbond) or masonry fencing.

GARDEN DESIGN PRINCIPLES continued

SELECTION PRINCIPLE	✓ SUPPORTED	✗ NOT ACCEPTABLE
5. Rear boundary definition and fencing	<p>Non-golf course fronting lots On non-golf course fronting lots a 1.8 metre high rear lapped timber paling fence is required.</p> <p>Golf course fronting lots On golf course fronting lots the rear boundary must be defined by landscaping such as hedge or low shrub planting to a maximum height of 1 metre. At the owner's discretion the rear boundary fronting can be fenced with a black open-style fence 1.2 metre high with a flat horizontal top rail (no hoops or ornamental spikes).</p>	<p>Paling fences are not acceptable on the rear boundary of golf course fronting lots.</p>
6. Fencing on secondary frontage of corner lots	<p>Fencing on the secondary frontage of corner allotments must contribute to the house design and address the corner elements of the house. The fence must commence a minimum of 2 metres behind the front building line to a maximum height of 1.8 metres. The fence must consist of masonry (maximum of 50%) and timber. The masonry must be bagged and painted to match the colours of the house.</p>	<p>Full height fencing which runs the length of the secondary frontage.</p>
7. Driveway specifications <i>*Community Association discretion may be exercised as necessary depending on availability of pavers.</i>	<p>Pavers must be used for driveways and conform to the Kooindah Waters driveway standard (Claypav Regency Tan*) laid in a Herringbone 90° pattern. If applicable, concrete that forms the section of the Multi-Purpose Pathway will replace pavers. The driveway must not exceed 5 metres in width at the front boundary and must be a minimum of 0.9 metres from the nearest side boundary.</p>	<p>Unfinished or stenciled concrete.</p>
8. Letterbox design	<p>Letterboxes must be masonry, bagged and painted to match the colours of the house. Dimensions must be 1.1m high x .93m wide.</p>	<p>Metal or freestanding letterboxes.</p>
9. Clotheslines	<p>Clotheslines are to be wall or fence-mounted and are to be of the retractable or pull-down variety only.</p>	<p>Clotheslines visible from the street or golf course.</p>

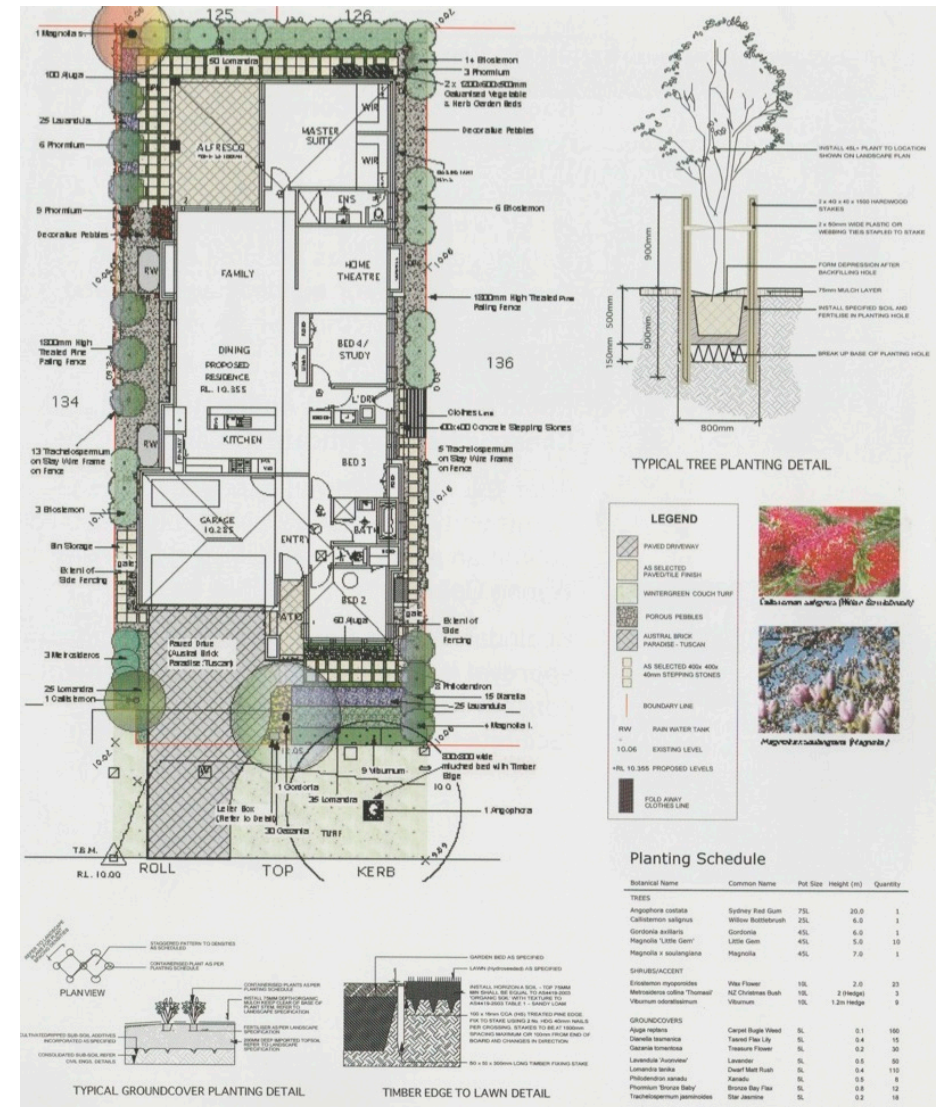
LANDSCAPE DESIGN

The landscape design shown here is a good example of the landscape design detail required for the Development Application (DA) and should accompany your house plans when first submitting your building application to Kooindah Waters Community Association for approval.

A planting schedule as shown on the diagram (bottom right-hand corner) is mandatory and its omission will delay the progress of your submission.

Planting Schedule

Botanical Name	Common Name	Pot Size	Height (m)	Quantity
TREES				
Anacophora costata	Sydney Red Gum	75L	20.0	1
Callistemon salignus	Willow Bottlebrush	25L	6.0	1
Gordonia axillaris	Gordonia	25L	6.0	1
Magnolia 'Little Gem'	Little Gem	25L	5.0	6
Magnolia x soulangeana	Magnolia	25L	7.0	1
SHRUBS/ACCENT				
Eriostemon myoporoideis	Wax Flower	10L	2.0	9
Metrosideros collina 'Thomasii'	NZ Christmas Bush	10L	2 (Hedge)	2
Viburnum odoratissimum	Viburnum	10L	1.2m Hedge	9
GROUNDCOVERS				
Ajuga reptans	Carpet Bugle Weed	140mm	0.1	20
Dianella tasmanica	Tasred Flax Lily	140mm	0.4	10
Gazania tomentosa	Treasure Flower	140mm	0.2	10
Lavandula 'Avonview'	Lavander	140mm	0.5	15
Lomandra tanika	Dwarf Matt Rush	140mm	0.4	25
Philodendron xanadu	Xanadu	140mm	0.5	5



SEEK APPROVALS

Before you can start to build your new home you will need to obtain two approvals.

Kooindah Waters Community Association Approval

By-law 2.10 of the Kooindah Waters Management Statement states that “the Kooindah Waters Community Association may in order to determine an application, request additional information, reports or documents”.

Therefore, to keep costs to a minimum, applicants are advised to adhere to the Information Requirements (page 16).

The approval process is shown in Appendix E – Three-Stage Approval Process for Building Applications.

Central Coast Council Development Application (DA) and Construction Certificate (CC)

After you have received approval from the Kooindah Waters Community Association, your builder should submit an application for DA and CC from Central Coast Council.

Kooindah Waters Community Association approval is not a guarantee of development consent from Central Coast Council; however, it may facilitate the Council DA process.



INFORMATION REQUIREMENTS

Your builder is to provide the following information by completing the form in Appendix C – Design Review: Required Documentation List to begin the approval process by the Kooindah Waters Community Association.

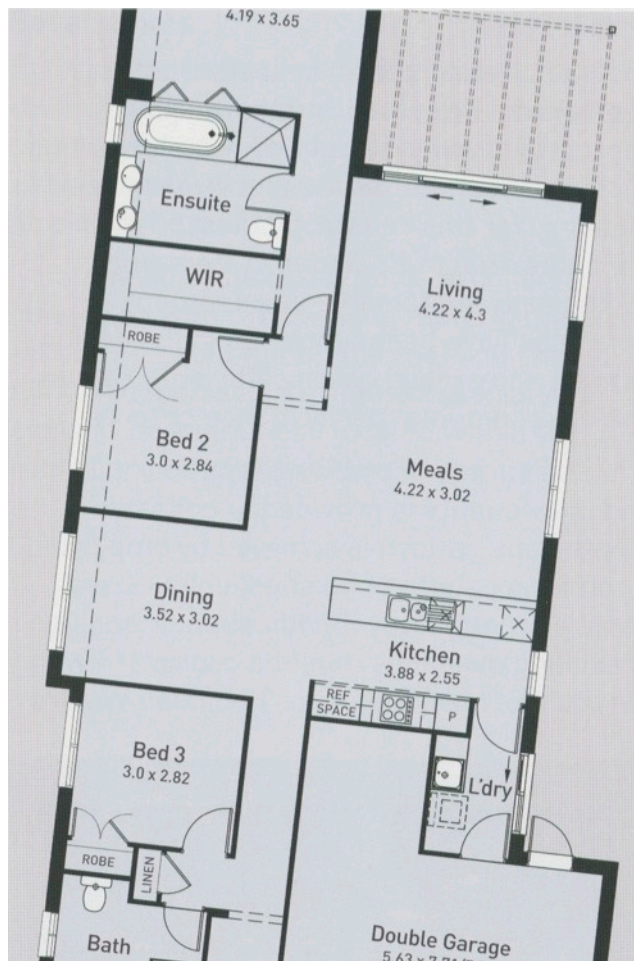
Information required includes:

1. Plans and elevations showing:
 - Building setbacks(refer **Appendix D – Design Review Criteria**.)
 - Double garage location and driveways
 - Existing and proposed levels to AHD (Australian Height Datum)
 - Retaining works
 - Fence locations and materials
 - Utility areas
 - Outdoor paved areas.
2. A colour schedule of external materials and finishes (refer **Appendix A – External Colour Palettes**).
3. A landscape plan and planting schedule. (refer **Appendix B – Recommended Plant Species**).

For DA and CC, Central Coast Council requires:

4. BASIX Assessment Certificate (completed after Kooindah Waters Community Association approval).
5. Shadow diagrams for 2-storey buildings..

The Kooindah Waters Community Association Executive Committee will review your application according to the criteria in Appendix D – Design Review Criteria.



OTHER DESIGN CONTROLS

The following design controls apply to Kooindah Waters and may be relevant if you are considering the inclusion of specific features on your new home, or later if you decide to make alterations or additions.

Architecture

Architectural built form reflects a coastal and relaxed theme, through a variety of appropriate materials and design elements such as balconies, decks, stone and masonry for this coastal location.

Whilst a variety of dwelling types and individuality is provided, a cohesive streetscape pattern is achieved by employing a common palette of finishes, colours and detail elements.

Any modification or addition to existing dwellings must be consistent with the architectural theme for Kooindah Waters and must gain consent from the Kooindah Waters Community Association, Central Coast Council and any other statutory authorities.



Service areas

Elements such as dog kennels, garbage bins, meter boxes, gas bottles, storage sheds and other utilities and services are to be screened from the street and golf course, or integrated into the building, fence or landscape design.

Retaining walls

Treatment of batters and retaining walls must be clearly indicated on the landscape and site works plan. Sandstone boulder or treated pine sleeper retaining walls consistent with elsewhere on the site are to be used throughout the development, Kopper logs will not be permitted.



OTHER DESIGN CONTROLS continued

Swimming pools

Pools and spas are permitted within the individual allotments providing they gain the consent of Kooindah Waters Community Association and Central Coast Council.

No above ground pools are permitted.

Pools and spas are to be positioned so as not to cause any adverse impact on adjoining residences or the golf course and must be screened from the street and golf course.

Any pool or filter equipment must be sited so as not to impact on adjoining properties or be visible from the golf course or neighbouring residences.

Receiving and Transmitting Antennas

An antenna for local television or radio reception or a dish for local pay television reception may be installed on the roof provided that the device has been located in a position that is least visible from the street or golf course.

Installation of any other antenna, dish, tower or any other transmitting and/or receiving device requires approval from the Kooindah Waters Community Association.

Solar hot water heaters and panels

Solar hot water heaters and panels must be located on the roof of dwellings above the eaves line.

Solar hot water heaters must be architecturally integrated with the dwelling.

Solar panels must be located flat on the roof. Associated storage tanks must be located within the roof space or at ground level.



Air conditioners

Air conditioning units are to be located in the service yard area or down one side of the dwelling where it is not visible from the golf course or street. Where this is not possible the unit must be appropriately screened with timber battened screen or planting.

Wall mounted air conditioning units are only permitted on side or rear walls. These units are not to be clearly visible from the golf course or street and should be appropriately screened with timber battened screens or planting.

Window or roof mounted air conditioning units are not permitted.

Signs

One "For Sale" or "For Lease" sign may be erected on a lot for a reasonable period of time without approval from the Kooindah Waters Community Association so long as the sign is not illuminated and/or has dimensions not exceeding 1 metre by 1 metre.

Any other signs, such as advertising signage or similar, are not permitted.

OTHER DESIGN CONTROLS continued

Rainwater tanks

Rainwater tanks are required for all homes. Care should be taken in the positioning of rainwater tanks to minimise visual impact when viewed from the street or golf course. The use of underground or slimline tanks is encouraged to achieve this objective.

Rainwater tanks should be included but hidden or screened from the street to avoid clutter.



Clotheslines

Clotheslines are not permitted forward of the building line on primary or secondary street frontages. Clothes lines are to be wall or fence mounted and to be of the retractable or pull-down variety only. Where possible clotheslines are to be located in service yard areas so as not to be visible from the golf course or street.

Security screens

Security screens are permitted on external doors (including sliding glass doors) provided they are plain, i.e., pattern grille screens are not permitted.

Security screens (including shutters) are not to be installed on any window that is visible from a street or the golf course.

Insect screens

Insect screens are permitted to all windows and sliding doors providing the colour of the frames match that of the adjacent window or door.

External furniture

No fountains, statues or other garden ornamental features are permitted forward of the building line, unless otherwise approved by the Kooindah Waters Community Association.

BBQs, outdoor settings and umbrellas can be located at the rear of the property or in courtyard areas behind the front building line.

No external fixtures

No other external fixtures (e.g., awnings, pergolas) are permitted on any wall that is visible from a street or golf course other than those that exist on the building at the time of construction.

Sheds and outbuildings

No shed or outbuilding that is visible from the street or golf course, is to be erected on an allotment.

Boats, caravans or trailers

No boat, caravan or trailer is to be parked or stored where it can be viewed from the street or golf course without written consent from the Kooindah Waters Community Association.

SUMMARY – A SIMPLE PROCESS

STEP	REQUIREMENT	RECOMMENDATION
Select your land	Use the information available to select the ideal lot available on the master plan.	When selecting your lot consider both the width and depth of your future house.
Choose a house	Choose your perfect home from the wide selection of homes suitable for Kooindah Waters.	Your builder can help you decide which house is best suited to you and your land.
Position & modify your house design	Your builder should ensure that the house you have selected fits on to your land, and complies with Central Coast Council's setback requirements. These changes and other modifications you may want to make for your home will need to be approved by the Kooindah Waters Community Association.	Minor changes to your home design may be accepted. Significant changes which impact on the external appearance of your house will need to be reviewed by the Kooindah Waters Community Association and are not recommended.
Design your garden	Prepare a landscape design including plans and specifications for submission to the Kooindah Waters Community Association and then Central Coast Council.	Make sure your landscape plan addresses the Landscape Design Specification requirements.
Seek approvals, build and move in	Your builder should prepare the information you need for your Kooindah Waters Community Association approval and the approvals you will need from Central Coast Council.	A timely approval is facilitated if you follow the advice in these guidelines. Complete and discuss the Community Association Checklist with your builder to ensure everything has been covered.

APPENDIX A – EXTERNAL COLOUR PALETTES

The following table contains the current colour combinations that have been prepared to make your colour selection simpler and expedite approval.

The colours provided in the table may not have colour swatches available at retailers, however, a digital version is available on request from the Kooindah Waters Community Association.

Please note that colours, when viewed electronically, may not be a faithful representation of the actual colour.

EXTERNAL COLOUR PALETTES

	PAINT COLOURS	FEATURE	EAVES	ROOF	GUTTER FASCIA	GARAGE	WINDOWS
BLACKBUT	Taubmans Waywood T110-3W Taubmans Blackbut T169-8A Taubmans Haddonstone T110-5W Taubmans Birch Bark T162-7A	Bowral Bricks Bowral Blue	Taubmans Hazel Snow T111-2W	Boral Striata Gunmetal OR Colorbond Ironstone	Colorbond Ironstone	Colorbond Ironstone	Stegbar Custom Black
MORTAR	Taubmans Wimmera T108-7A Taubmans Zelda T161-7A (T15-33.7) Bristol Quarry P198-N4	Stacked Stone Grampians Brown	Bristol Aluminum P198-N1	Boral Linea Charcoal Grey OR Colorbond Woodland Grey	Colorbond Woodland Grey	Colorbond Woodland Grey	Stegbar Custom Black
EUCALYPT	Bristol Café Grey P204-N5 Taubmans Coffee House T121-8A Taubmans Weathered Stone T112-3W (T15-40.2) Bristol Black Jack P232-N6	Bowral Brick Gertrudis Brown	Taubmans Pebble Bay T112-2W	Boral Striata Gunmetal OR Colorbond Windspray	Colorbond Windspray	Colorbond Windspray	Stegbar White Birch
BAUXITE	Taubmans Green Tea T122-7A (T15-49.7) Bristol Bauxite B150-11 (T12-10.H6) Bristol Siberian Husky B165-03 (P197-N3)	Bowral Brick Bowral Blue	Bristol Satellite P198-N2	Boral Striata Walnut/ Taupe OR Colorbond Jasper	Colorbond Jasper	Colorbond Jasper	Stegbar White Birch
MOJO	Bristol Nutbrush P196-N6 Taubmans Glenlee T110-4W (T15-47.5) Taubmans Mojo T172-8BI	Boral Masonry Split Face Almond	Taubmans Bohemian T110-1W	Boral Striata Gunmetal OR Colorbond Ironstone	Colorbond Ironstone	Colorbond Ironstone	Stegbar Custom Black
MULCH	Taubmans Murkey Water T161-6W (T15-33.5) Taubmans Elsa Karga T149-7A Taubmans Athena T122-4W (T15-49.4)	Not applicable	Taubmans Portland Stone T122- 2W	Boral Striata Twilight OR Colorbond Ironstone	Colorbond Ironstone	Colorbond Ironstone	Stegbar Notre Dame

APPENDIX B – RECOMMENDED PLANT SPECIES

Below is a list of recommended planting that should survive some of the extreme growing conditions. These are the species or family names, and all come in a variety of sizes and shapes, so careful consideration should be given to the space where the planting is to be undertaken:

- Acacia (Wattle)
- Actinotus Helianthi (Flannel Flower)
- Anigozanthos (Kangaroo Paw)
- Banksia
- Boronia
- Callistemon (Bottle Brush)
- Chamelaucium
- Corymbia (Dwarf flowering gums)
- Doryanthes excels (Gynea Lily)
- Grevillea
- Hibbertia scandens
- Hibiscus
- Lomandra (Seaside Rosemary)
- Leptospermum
- Malaleuca
- Syzgium (Lilly Pilly)
- Telopea
- Westringia

Botanical Name	Common Name
Lawn	
<i>Windsor Green Couch</i>	<i>Couch</i>
Trees	
<i>Acacia</i>	<i>Wattle</i>
<i>Angophora costata</i>	<i>Smooth-barked Apple</i>
<i>Banksia integrifolia</i>	<i>Coastal Banksia</i>
<i>Banksia serrata</i>	<i>Old Man Banksia</i>
<i>Boronia</i>	<i>Various</i>
<i>Callistemon</i>	<i>Bottle Brush</i>
<i>Corymbia</i>	<i>Dwarf flowering gum</i>
<i>Cupaniopsis anacardiodes</i>	<i>Tuckeroo</i>
<i>Hibiscus tiliaceus 'Rubra'</i>	<i>Bronze Cottonwood</i>
<i>Melealeuca quinquenervia</i>	<i>Broad-leaved Paperbark</i>
Shrubs	
<i>Actinotus Helianthi</i>	<i>Flannel Flower</i>
<i>Anigozanthos</i>	<i>Kangaroo Paw</i>
<i>Baekea virgate</i>	<i>Twiggy Heath Myrtle</i>
<i>Grevillea</i>	<i>Peaches and Cream</i>
<i>Leptospermum</i>	<i>Tea Tree</i>
<i>Leucophyta brownii</i>	<i>Cushion Bush</i>
<i>Metrosideros excelsa 'Springfire'</i>	<i>NZ Christmas Bush</i>
<i>Syzigium australe 'Resilience'</i>	<i>Resilience Lilly Pilly</i>
<i>Telopea speciosissima</i>	<i>Waratah</i>
<i>Westringia 'Zena'</i>	<i>Zena Coast Rosemary</i>
<i>Westringia fruticosa</i>	<i>Coast Rosemary</i>

Botanical Name**Grasses & Ground Covers**

Alternanthera Dentata
Carpobrotus rossii
Dianella caerulea 'Breeze'
Dianella caerulea 'Little Jess'
Dichondra repens
Doryanthes excelsa
Hibbertia scandens
Isolpesis nodosa
Lomandra longifolia
Lomandra 'Tanika'
Lomandra 'Seaside Rosemary'
Myoporum parvifolium
Poa poiformis 'Kingsdale'
Scaevola calendulacea
Themeda australis
Trachelospermum asiaticum
Viola hederacea
Gazania tomentosa

Common Name

Little Ruby
Pig Face
Dianella 'Breeze'
Dianella 'Little Jess'
Kidney Weed
Gymea Lilly
Climbing Guinea-flower
Knobby Club Rush
Lomandra
Lomandra Tanika
Lomandra
Creeping Boobialla
Coastal Tussock Grass
Scented Fan Flower
Kangaroo Grass
Yellow Star Jasmine
Ivy-leaf Violet
Gazania

APPENDIX C

DESIGN REVIEW: REQUIRED DOCUMENTATION

Community Association D.P. No. 270434

Approve at AGM 4 March 2019

Design Review: Required Documentation Checklist

Lot

Date of Review

Key: yes-supplied no: still required.

01.Site plan	yes	no	comment
Provide a full plan of the entire site and connection to street.			
Indicate Front, Side and Rear Building Lines and Setbacks			
Provide Site Area, GFA, FSR , Private open space and Site Coverage			
Provide suitable driveway profile. Where required aligns with MP Pathway.(cart path)			
02.Floor Plans			
Provide Floor Plans for all levels of the proposed development			
Drawings are to be site specific and include Site Boundaries and setbacks on all Floors. Drawings of a generic nature without appropriate site information will not be accepted for review			
Indicate the outline of any adjoining property and any significant windows.			
Provide existing and proposed levels			
Provide overall dimensions of the building.			
Identify any proposed earthworks and retaining walls.			
03. Elevations			
Provide elevations for all facades of the proposed development			
Drawings are to be site specific and include Site Boundaries, setbacks, ridge levels, gutter levels and maximum height plane. Drawings of a generic nature without appropriate site information will not be accepted for review.			
Identify all proposed external materials and their extent by way of colouring and appropriate coding that references the External Materials Schedule.			

Executive Committee
Email: kwca.ec@gmail.com
Phone: 0412 604 437

Managing Agent – BCS Strata Management Pty Ltd
(effective 6 May 2019)

Community Association D.P. No. 270434

Approve at AGM 4 March 2019

04. External Materials Schedule			
Provide a coded material schedule nominating all external materials.			
Nominate verifiable proprietary descriptions of these materials including trade names and serial numbers where appropriate.			
Provide photographic representation of nominated materials			
Cross reference these codings on all Elevations as appropriate.			
05. Landscape Plan			
Provide professional coloured Landscape Design Plan.			
Locate on landscape plan Letter Box, Recycling bins, Water Tanks, Clothes Lines			
Include a planting schedule identifying the number of plants proposed and pot size at installation.			
Indicate on plan all proposed fence types, screening and gates.			
Maintains clearance around sewer pit and turret and riser			
06. Note: CC Council will require:			
A Basix Assessment Certificate			
All levels referenced to Australian Height Datum (AHD)			
Failure to do so will result in delays to DA approval.			

Executive Committee
Email: kwca.ec@gmail.com
Phone: 0412 604 437

Managing Agent – BCS Strata Management Pty Ltd
(effective 6 May 2019)

APPENDIX D – DESIGN REVIEW CRITERIA

DESIGN REVIEW CRITERIA

Form 1.2

LOT DETAILS

Reviewed on

Lot No: Address:

No. Bedrooms: Builder:

Lot Size:

BUILDING ENVELOPE

		Yes No N/A	
Building area:	Acceptable site coverage relative to site		
Calculation	Site area _____		
Paved area: _____ (always check against landscape plan)	Max 15% of site area		
Calculation	_____		

Setback: Street (to building line)*	Min. 4.5m		
Setback: Street (to garage door)*	Min. 5.5m and min 1.0m from front building line		
Setback: Street (to portico)*	Min. 3.0m		
Setback: Golf course (to rear building line)*	Min. 3.0m		
Setback: Side (to building line)*	Min. 0.9m min		
Setback (non golf course): Rear (to building line)*	Min. 3.0m min		
Height:	Max 2 storey, 7.0m to ceiling of uppermost storey.		

Note: No in the Yes, No, N/A column indicates a requirement to be met as a condition of approval.

DESIGN PRINCIPLES

Car parking:	Double garage. All vehicles accommodated within the lot.		
Style and Character:	Indoor/Outdoor living with access from living area.		
	Distinctive modern features and architectural styles consistent with A&L Guidelines.		
	Design incorporates portico, and on two-storey homes a balcony to provide shelter and building articulation.		
	Design addresses the main street frontage and both street frontages on corner lots and golf course frontage where relevant.		
Colour and Material Selection:	Colour palette consistent with A&L Guidelines.		
	Single storey house has at least two complementary external finishes and two-storey house has at least three complementary external finishes.		
	Accent colours to highlight special features on street frontage and rear to golf course frontage.		
	Roof colour and material consistent with A&L Guidelines.		
	Masonry Letterbox, bagged and painted to match colours of home.		
	Exposed face brick dry pressed and plain.		
Building Articulation:	All elevations considered including sides, windows, doors, changes in materials and for double storey, indents.		
	Max 10m wall length of same material upper storey with min 600mm step-back.		
	Resolution of parapets, must return a minimum of 350mm.		
	Materials return around the corner to a minimum of 350mm.		

Note: No in the Yes, No, N/A column indicates a requirement to be met as a condition of approval

Revised DRC as approved at AGM 4 March 2019

DESIGN REVIEW CRITERIA continued
Form 1.2

Street Address:	Habitable rooms facing street.		
	Bathroom/laundry windows facing the street including secondary frontages or golf course must have clear glass.		
	Legible front entry.		
	Plain security screen doors facing street.		
	Plain security screen doors on golf course fronting lot.		
Corner Lots:	Dwelling addresses both frontages.		
	Corner is expressed and wraps around a minimum of 350mm.		
	Adequate windows on secondary frontage.		
Golf Course Fronting Lots:	Dwelling addresses golf course frontage consistent with A&L Guidelines.		
Other Design Controls:	Solar panels and other roof-mounted items consistent with A&L Guidelines.		
	Air conditioning units screened within the lot from street or golf course. Window or roof mounted air conditioning units are not permitted.		
	Transmitting devices conforms to by-laws and consistent with A&L Guidelines.		
	Pool/Spa conforms to A&L Guidelines.		
Landscaping:	Landscape plan included.		
	Max 1.0m high hedge or low shrub planting defines front boundary.		
	Letterbox to be 1.1m high x .93m wide and bagged and painted to match colours of house.		
	Preferred plant species used including one small tree.		
	Lawn species complies with Windsor Green Couch.		

Note: No in the Yes, No, N/A column indicates a requirement to be met as a condition of approval

Revised DRC as approved at AGM 4 March 2019

Rainwater tanks:	Rainwater tanks screened from street and golf course.		
	Clothesline retractable or pull-down variety, wall or fence-mounted and screened within the lot from street or golf course. Clotheslines are not permitted forward of the building line on primary or secondary street frontages.		
Retaining walls:	Retaining walls conform to A&L Guidelines.		
Driveway:	Max 5.0m wide at front boundary and minimum of 0.9m from nearest side boundary.		
	Driveway pavers Claypave 'Regency Tan'*. Pavers to extend to the kerb.		
	Driveway pattern Herringbone 90°.		
Fencing:	Paling fence, lapped.		
	Golf course fronting optional pool fencing.		
Fencing, side and rear boundaries:	1.8m high from front building line.		
Golf course fronting lot side fencing:	1.8m high reducing to 1.2m from building line to rear boundary.		
Corner Lots:	Secondary frontage, 1.8m high.		
	Starts a minimum of 2.0m behind front building line.		
	Secondary fence consists of masonry (max. 50%) and timber (not Colorbond). Masonry bagged and painted to match colours of house.		

* Community Association discretion may be exercised as necessary depending on availability of pavers.

Note: No in the Yes, No, N/A column indicates a requirement to be met as a condition of approval

Revised DRC as approved at AGM 4 March 2019

APPENDIX E – THREE-STAGE APPROVAL PROCESS FOR BUILDING APPLICATIONS

Three Stage Approval Process for Work

1.1 Any proposed Works that include the construction of a new dwelling or alteration / renovation / repair of an existing dwelling, must comply with the following three stage approval process:

Stage 1 – Review of Plans by Community Association

- (i) A complete set of plans for the proposed works must be provided to the Community Association, such plans to include the materials, finishes and colour schedules on the drawings and a Landscape plan.
- (ii) Plans are reviewed by the Community Association for completeness of documentation and compliance with A & L Guidelines.
- (iii) Approval of the submitted plans will be indicated by the provision of a letter from the Community Association to the person who submitted the plans, outlining the approval and any conditions upon which it has been granted.
- (iv) A person who receives an approval subject to conditions must provide evidence to the Community Association of compliance with the conditions as specified.
- (v) Any plans assessed but not yet approved must be revised as per feedback and re-submitted for further review by the Community Association for approval.
- (vi) Any plans submitted for approval must not be lodged with Council until the Community Association has provided written approval of the plans.
- (vii) The written approval referred to in (vi) is to be in the form of a letter from the Community Association addressed to the Central Coast Council advising that:
 - (A) The plans have been approved and can now be lodged with council, or
 - (B) The plans have been approved with conditions that must be met before construction commences, and can now be lodged with Council.
- (viii) The Community Association provides to the Lot owner the letter referred to in (vii). The letter must accompany the submission of the plans to Council.

Stage 2- Approval to Commence Works

- (ix) On receipt of approval from Central Coast Council, approval for Stage 2 must be sought from the Community Association.
- (x) Where a person has received an approval from the Community Association in accordance with (vii) (A), that person must submit the council approved plans depicting the council stamp to the Community Association.
- (xi) Where a person has received an approval from the Community Association in accordance with (vii) (B), that person must submit the council approved plans depicting the council stamp to the Community Association for further approval prior to commencing the proposed Works.
- (xii) The plans submitted in accordance with (xi) will then be reviewed by the Community Association for the purpose of providing approval for the commencement of the works; such approval to be provided by way of letter from the Community Association and can be provided on the basis of conditions.
- (xiii) Any conditional approval issued by a Community Association pursuant to (xi) is to include details of the conditions and the further steps to be undertaken to obtain the approval necessary to commence the works.
- (xiv) In accordance with the Community Management Statement By-Law 3.12, a bond of \$5000 is to be paid to the Managing Agent prior to the commencement of construction to be held on account of any damage that may be caused to Community Property as a result of any Works. The bond is payable to the Community Association DP 270434. The Community Association must be in receipt of the bond before approval for Stage 2 will be provided.
- (xv) In accordance with the Community Management Statement By-Law 3.13, the Executive Committee of the Community Association can deduct from any bond lodged under this by-law a reasonable amount (if any) for damage that may be caused to Community Property as a result of any Works.
- (xvi) During construction, inspections may be carried out by the CA Facilities Manager regarding materials delivery and compliance with works in accordance with the Community Management Statement By-Laws 3.15 (a)(b)(c)(d)(e).

Stage 3 - Completion

- (xvii) The Community Association must be notified in writing as to the completion of the works approved in Stage 2 above; such notification is to be provided within 24 hours of completion.
- (xviii) The Community Association may undertake an on-site review of the completed works to ensure compliance with the approved plans and the Architectural and Landscape Guidelines.

1.2 Where the Community Association approval is subject to conditions, the person who is granted the approval must comply, and must ensure compliance with, those conditions.